

*Frangista Beach  
Community*

*Design Code*

# **FRANGISTA BEACH**

OF

DESTIN, FLORIDA

**D E S I G N     C O D E**

**May 1, 2001**

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## **INTRODUCTION**

The design and planning of Frangista Beach is based on age old principles derived from pre-automobile and pre-air-conditioned communities. Frangista Beach incorporates the necessary ingredients to provide and nurture the qualities of a sense of community -- qualities that have been proven successful over hundreds of years of experience -- recreation areas, a walking environment, sidewalks and the opportunity for neighbors to interact with neighbors.

These guidelines have been established to guide the growth of Frangista Beach in order to provide a quality environment for its residents in accordance with the vision of the development. The architecture of Frangista Beach is intended to respect the traditions of the region - the Gulf of Mexico and Caribbean Basin. It is an architecture of spacious porches, high ceilings, ceiling fans, shutters, and ample windows that open, allowing cross ventilation and provide natural lighting. The architecture is friendly to the street, respectful to the neighbors, and relates as part of an ensemble to contribute to the overall ambience of the community.

The property owner shall be responsible for contacting the Architectural Review Commission (ARC) office to determine the time and dates of the ARC meetings and the cutoff dates for submission of applications. Application forms may be obtained from the ARC office.

The developer has the right to revise this **DESIGN CODE** from time to time as is determined necessary or desirable.

The **Architectural Review Commission (ARC)** is responsible for administering the **DESIGN CODE**. The ARC shall have an administrator responsible for coordination between the ARC and the property owner. It is not the intent of the ARC to make arbitrary and subjective value judgements, nor to discourage creativity, but to insure that all construction is in compliance with the design standards and to insure compatibility with the overall concept, character, and design quality of the community.

The goal of the ARC is to review and process all applications fairly. Applications shall be approved or denied based upon compliance with the provisions of the **DESIGN CODE**. The Architectural Review Commission may also consider the quality of materials, harmony of the design with the spirit of the development, as well as purely aesthetic considerations, which in the sole opinion of the ARC will affect the overall concept and intent of the development.

# 1 NEIGHBORHOOD DESIGN GUIDELINES

## 1.1 General

Lots are referenced by "Type" throughout this code. See Exhibit 1 for lot type identification.

Final approval of plans expires after (1) year. After that time, plans must be resubmitted to the ARC for final review.

## 1.2 Definitions

The following are definitions of terms which are used throughout the Code:

ARC: Frangista Beach Architectural Review Commission

Balconies: Any outdoor space, covered or uncovered, which projects from the main body of the structure.

Bedroom: For the purpose of calculating off-street parking requirements, rooms such as studies, dens, libraries, etc., shall be considered a bedroom if they have an adjacent or adjoining bathroom.

Deck: Any wooden platform without a solid roof structure.

DEP: Department of Environmental Protection, formerly the DNR and DER.

Garden Structure: Pavilions, gazebos, arbors, pergolas, and other similar structures no more than one story in height.

Outbuilding: Secondary structures such as garages and guest houses, and all secondary two story buildings.

Overhead Connector: A walk, deck, or similar structure that connects the house with an outbuilding or garden structure at any level other than the first floor.

Patio: A hard surfaced area without a wall or roof structure.

Pergola: An open air garden structure with a trellised roof.

Porch/Gallery/Veranda: A covered outdoor area attached to a house.

Primary Residence: The primary dwelling structure on a lot.

Romeo Balcony: French doors or sliding glass doors protected by a guard rail that

projects no more than 6 inches from the face of the wall of a structure.

Single Family Dwelling: A dwelling consisting of one dwelling unit.

Stairs: Stairs are for the purpose of accessing floors or levels beyond the first floor.

Steps: Steps are for the purpose of accessing the first floor or level.

Swimming Pool: Any swimming pool or spa regardless of size.

Terrace: An upper level outdoor living area without a solid roof.

Three Story Dwelling: A dwelling consisting of three floors, including parking below.

Tower: A small room, porch, or deck, which protrudes above the maximum height allowed for a residence.

Two Story Dwelling: A dwelling consisting of two floors, including parking below.

The maximum size of structures shall be as follows:

### 1.3 Building Setbacks

Measurement: All setbacks shall be measured from the property line to the exterior wall of a structure.

#### BEACHFRONT LOTS\*

| LOT TYPE I        | FRONT | SIDE | REAR (Seaward Shore Normal Direction 61') |
|-------------------|-------|------|---|
| Primary Residence | 0'    | 5'   | 0'  |
| Outbuildings      | 0'    | 5'   | 0'  |
| Garden Structures | 0'    | 5'   | 0'  |
| Decks             | 0'    | 5'   | 0'  |
| Patios            | 0'    | 5'   | 0'  |
| Swimming Pools    | 0'    | 5'   | 0'  |

\*Note: Beachfront lots are subject to Development Agreement as recorded in the Walton Country Public Record, B2306, P925-956, 2/28/01.



| <b>LOT TYPE II</b> | <b>FRONT</b> | <b>SIDE</b> | <b>REAR</b> |
|--------------------|--------------|-------------|-------------|
| Primary Residence  | 20' 5'       | 15'         |             |
| Outbuildings       | 20'          | 5'          | 15'         |
| Garden Structures  | 20'          | 5'          | 15'         |
| Decks              | 30' min.     | 5'          | 15'         |
| Patios             | 30' min.     | 5'          | 15'         |

#### **1.4 Height Requirements**

Building heights of all structures shall be measured as illustrated on the referenced Exhibits below. (Height restrictions must also comply with the Walton County restrictions.)

##### **Lot Type I/ Beachfront**

The maximum heights are as follows:

|                   |                           |
|-------------------|---------------------------|
| Primary Residence | see <b>Exhibit 2 A</b>    |
| Garden Structures | 16' (from finished grade) |

Primary residences shall have a minimum 9'-6" floor-to-ceiling height at the first level and 9'-0" at the second as measured from the finished floor to the finished ceiling.

##### **Lot Type II**

The maximum heights are as follows:

|                   |                           |
|-------------------|---------------------------|
| Primary Residence | see <b>Exhibit 2 B</b>    |
| Towers            | see <b>Exhibit 2 B</b>    |
| Garden Structures | 16' (from finished grade) |
| Outbuildings      | see <b>Exhibit 2 E</b>    |

Primary residences shall have a minimum 9'-6" floor-to-ceiling height at the first level and 9'-0" at the second as measured from the finished floor to the finished ceiling.

#### **1.5 Site Coverage**

The maximum site coverage of the primary residential structure shall be as follows:

##### **One Story Structure:**

Maximum site coverage: 35% of the Lot Area (Excluding porches & balconies)  
45% of the Lot Area (Including porches & balconies)

### **Two Story Structure:**

Maximum site coverage: 25% of the Lot Area (Excluding porches & balconies)  
35% of the Lot Area (Including porches & balconies)

Site coverage shall be calculated as heated & cooled space at all floors as they project down to the site. e.g. When a heated & cooled space at an upper level is located above unheated space or a porch at a lower level, the calculation for the heated & cooled space shall be included as part of the total site coverage of the house.

When a balcony or a porch at an upper level projects over an open space below, that area shall be included in the site coverage total when calculating maximum site coverage including porches & balconies.

The maximum site coverage of an outbuilding shall be defined in Section 1.8.

### **1.6 Parking**

Two off-street parking places per dwelling unit (primary residence) shall be provided on each lot, with one additional space for each bedroom over three.

Outbuildings shall have one parking space for each bedroom with a minimum of one space. For all lots, the hard surfaced portion of driveways shall be a maximum of 10 feet wide and each residential lot shall be allowed one driveway from the street with a maximum fence cut of 12 feet.

Parking surfaces located in the front yard setback shall be a maximum of 20 feet wide (including the driveway).

### **1.7 Fences**

Required fences (as described herein) must be constructed within 12 months from the date of closing on the lot, unless the residence is under construction, in which case the fence must be constructed at the completion of the residence.

Residential lot owners must provide continuous fences along property lines abutting streets, and common areas. Fences are permitted along all property lines except on rear property lines of Gulf-front lots.

Gates, compatible in design with the fence, must be provided in fences abutting all streets.

Adjoining fences may not be of the same design.

Fences must be located on any property line abutting a street and must be located on the side and rear property lines, with no part of the fence protruding beyond the property line.

Fences shall be 3'-0" high above grade on any property line abutting a street and along the side property line for a distance of 30'. Beyond 30' to the rear property line and on the rear property line, fences may be 4'-0" high. (Exception: in order to create rear and side courtyards, solid walls constructed of reinforced concrete block masonry with a smooth stucco finish, 6'-8" high, may be constructed, beyond 30' to the rear property line and along the rear property line.)

Fences shall be constructed of wood pickets, masonry and stucco piers with metal railings or wood pickets, or masonry and stucco. Fences using wood pickets shall have a transparency factor between 25% and 60% when 2" x 2" pickets are used, and between 20% and 40% when flat pickets are used.

Picket fences shall comply with the requirements set forth in **Exhibit 4**.

Stucco piers shall be a minimum of 18" wide by 12" deep and a maximum of 18" square, located no closer than 8' apart except at a gate. The maximum height of the piers shall be 3'-8" above grade and the height of the railing shall be between 3'-0" and 3'-6" above grade. For stucco and railing fences, a stucco wall, a maximum of 18" high, may be constructed under the railing between the piers. A 2'-0" high masonry and stucco fence may be constructed in lieu of the fences described above, provided that 18" x 18" piers are constructed at each end of the fence, including all openings.

All wood fences shall be painted Frangista Beach approved standard white as listed in Section 2.14 herein. The stucco portion of stucco and railing fences shall be painted white and the railings shall be painted one of the approved colors as listed in Section 2.14 herein. All masonry and stucco fences shall be painted Frangista Beach approved standard white as listed in Section 2.14.

Fabric sand fencing will not be allowed once the house is complete.

## **1.8 Outbuildings**

When the ground floor of an outbuilding is used as living space and not a garage, the minimum ground floor elevation shall be 18" above the finished grade. The maximum fill allowed on any lot is one (1) foot above the crown of the road measured from the front of the house.

Overhead connections (raised walkways) between outbuildings and the primary residential structure are prohibited.

Outbuildings are subject to a maximum total area as follows:

Maximum Site Coverage: 800 square feet

Exterior, unenclosed, and uncovered stairs to the second level of an outbuilding are not considered part of the area when calculating the Maximum Site Coverage.

### **1.9 Swimming Pools/ Spas**

Swimming pools are permitted. Spas and hot tubs, regardless of size, are considered swimming pools. The area surrounding pools must be heavily landscaped to create a sense of privacy. Prefabricated swimming pool enclosures are prohibited.

## **2 ARCHITECTURAL GUIDELINES**

### **2.1 General**

### **2.2 Construction Types and Materials**

Three types of exterior building materials are permitted and are described below:

#### Type I: Wood

Horizontally applied boards (beveled or drop siding) and wooden shingles are permitted. Horizontally applied tongue and groove boards are allowed only on the front facade wall under porches or within pediments or panels. Plywood, diagonal siding, vinyl siding and metal siding are **not** permitted. Vinyl or metal soffits are **not** permitted. Plywood soffits are permitted provided that the joints have battens, and battens are spaced no greater than 24" on center. Details must be included on construction documents.

Columns and balustrades on wooden houses shall be constructed of wood.

#### Type II: Stucco

Stucco is allowed over wood frame or masonry construction. Stucco finishes must have a smooth, towel applied, sand finish. Swirl or other heavily textured patterns are prohibited.

#### Type III: HardiPlank Siding

Horizontally applied smooth finish hardi plank siding.

All exterior nails and screws exposed to the weather shall be marine grade stainless steel, or hot dipped galvanized, maze nails.

### 2.3 Roofs

All roofs shall have a minimum pitch of 5" in 12" and a maximum pitch of 10" in 12". (Exception: the roof over a porch when used as a broken pitch extension of the main roof and not as a separate roof, may be a minimum of 3" in 12").

Roofing materials permitted are sheet metal, metal shingles, cementitious shingles, and concrete tile. All metal roofs must carry a written twenty year warranty against rust.

Asphalt and fiberglass shingles are **not** permitted.

All roofing material colors must be approved by the ARC. In the spirit of a beach community, it is highly recommended that roofs be of a light color.

Roofs shall conform to the requirements as described in the Graphic Design Code, **Exhibits 5.A and 5.B.**

### 2.4 Windows

Only wooden windows are allowed. Wooden windows with vinyl or aluminum exterior cladding are permitted. All-vinyl windows and all-aluminum windows are **not** permitted. Eighty percent of the total number of windows must be operable.

Each facade of a residence shall have a minimum of two fenestrations (windows or doors) at each level with the exception of towers, which shall have a minimum of one fenestration on each facade.

When windows are divided into lights, they must be true divided lights or provide muntins on both sides of glass.

Jalousie windows are **not** permitted. White windows are approved. All other colors must be approved by the ARC.

Windows must comply with the requirements of the Graphic Design Code, **Exhibit 6.**

### 2.5 Doors

All exterior doorways on the first floor, front facade of the house, shall be a minimum height of 8'-0". When transoms above doors are used, 6'-8" doors may be used provided the height of the door and transom is a least 8'-0".

When doors with glass panels are divided into lights, they must be true divided lights, or provide muntins on both sides of glass.

Flush faced doors are **not** permitted.

Aluminum sliding glass doors are **not** permitted. Wood sliding glass doors are permitted on facades that do not face a street. (Exception: Wood sliding glass doors are permitted on a street-facing facade when they are used as a romeo balcony and do not access exterior space such as a porch, balcony, terrace, deck, or patio.

Garage doors must be decorative.

## **2.6 Glazing**

Highly reflective, mirror glass is not permitted. Energy efficient glass is encouraged.

## **2.7 Towers**

Towers are permitted on Lot II Types

Towers are subject to the following restrictions:

Maximum Enclosed Area (Excluding Porches): 200 SF.

Maximum Enclosed Area Including Open Balconies or Decks: 300 SF

The maximum dimension of enclosed space of towers shall in no case exceed 18'.

## **2.8 Porches**

Porches are required on the front facade (the facade facing the primary street) of all houses in Lot Type II. The minimum size of the required front porch shall be 8' deep by 12' wide. Porches are required to be accessible by steps visible from the street.

Either a porch or balcony is required on the first facade of all Lot Type I Lots: (minimum size 5' x 8'). Side porches are allowed in lieu of front porches upon approval of the ARC. Wrap-around porches, especially on corner lots, are encouraged.

Whenever a house has double loaded porches (a second floor porch located above a lower porch), the building facades under the porches must be aligned.

Screened porches are permitted except on front porches facing the highway. Screening must be constructed of wood. Metal section screened porches and prefabricated swimming pool enclosures are prohibited.

Porches shall conform to the requirements as described in the Graphic Design Code, **Exhibits 7 and 10B.**

## **2.9 Balustrades**

Balustrades shall conform to the requirements as described in the Graphic Design Code, **Exhibit 8**.

## **2.10 Columns**

Columns shall comply with the requirements as described in **Exhibit 9.A, 9.B, and 9.C**.

## **2.11 Alignment**

Alignment of architectural components shall comply with the requirements as described in the Graphic Design Code, **Exhibit 10.A and 10.B**.

## **2.12 Entablatures**

Entablatures shall conform to the requirements as described in Graphic Design Code, **Exhibit 11**.

## **2.13 Appendages**

Appendages shall conform to the requirements as described in the Graphic Design Code, **Exhibit 12**.

## **2.14 Dormers**

Dormers shall conform to the requirements as described in the Graphic Design Code, **Exhibit 13**.

## **2.15 Latticework**

Latticework must be privacy grade, constructed of wood with the spacing between the lattice no greater than the lattice.

Latticework must comply with the requirements of **Exhibit 14**.

## **2.16 Decks & Patios**

The maximum height of decks (not attached to the house) shall be 2'-0" above grade and shall be a maximum of 200 square feet in area.

The maximum height of patios shall be 18" above grade.

## **2.17 Shutters**

Exterior shutters are encouraged, but not mandatory.

When used, exterior shutters shall be of the swing or Bahama type and be of sufficient size to completely cover the door or window opening when closed. When closed, shutters must fit inside of the window opening or door opening. Shutters must be able to be secured in both an open and closed position. Shutters must be constructed of a rot resistant wood or solid fiberglass. Vinyl or metal shutters are prohibited.

When shutters are used, they must be used on all windows with the following exceptions: 1) where they are protected by a porch, 2) when windows are comprised of art glass, or 3) when they are located in a tower.

Shutters must comply with the requirements of **Exhibit 15**.

## **2.18 Colors**

All colors must be approved by the ARC. In the spirit of a beach community, it is highly recommended that the roofs be of a light color.

## **2.19 Exterior Lighting**

Exterior lighting must not be intrusive to adjacent properties or common areas.

Beachfront houses or houses with lighting visible from the beach, must comply with governing "turtle lighting" regulations.

Every house must have lighting on the front porch, with a maximum wattage of 75 watts. A maximum of two front porch lights, whereby the source of the light is seen, will be allowed. All additional lighting shall be indirect lighting.

Landscape lighting must be direct task fixtures, and shall be located as close to the grade as practical. All wiring must be placed underground.

## **2.20 Utilities**

All utilities shall be placed below grade and concealed from view.

## **2.21 Electrical & Mechanical Equipment**

All exterior electrical and mechanical equipment, including but not limited to transformers, air conditioning compressors, pool equipment, meters, etc., shall be concealed from view by either walls of the same material and color as the building, latticework screening or opaque landscaping.

Air conditioning compressors shall be located a minimum of 15 feet to the rear of the



front most part of the house, and a minimum of 35 feet inland from the facade of the house on Gulf-front lots. Window air conditioning units of any kind are not allowed in any primary residence, outbuildings, or garages.

## **2.22 Garbage & Trash Containers**

Garbage and refuse shall be placed in containers such that they are inaccessible to animals. Containers shall be stored in a walled enclosure, of a minimum height necessary to screen the trash containers from pedestrian view. The design of the enclosure shall be compatible with the design of the house.

## **2.23 Mail Boxes**

The development will provide a central mail pickup facility. Therefore, individual mail boxes are not allowed.

## **2.24 Antennas**

Antennas, satellite dishes, radio receivers, or similar devices are prohibited. (Exception: The ARC will allow maximum 18" satellite dishes. The ARC will have final approval of placement of dishes).

## **2.25 Play Equipment**

All fixed play equipment such as swings, slides, basketball goals, etc. must be submitted to the ARC for review and approval.

## **2.26 Signage**

The only Signage allowed on residential lots will be construction signs which identify the contractor, designers, and lenders of the project, and "For Sale" signs. Construction signs shall be limited in size to 9 square feet and shall be no higher than 4 feet above grade.

Construction signs shall be allowed only during construction and shall be promptly removed upon completion of the project.

A "For Sale" sign shall be limited in size to 3 square feet and shall be located on the front fence next to the gate and removed the day after closing. All signs must be submitted to the ARC for approval.

## **2.27 House Numbers**

House numbers (and names where desired) must be located on the house as required by the County and in compliance with the development standard as illustrated on **Exhibit**

16. House numbers must be located on the front fence, one foot to the left or right of the front entrance gate. The ARC requires at minimum the house number and house name on each sign. In addition, family member's names, city and state of owners may also be included if desired.

### **2.28 Awnings**

Awnings of fabric and soft synthetic materials are permitted. A sample of the material and color of any proposed awning must be submitted to the ARC for approval. Metal awnings are not permitted.

### **2.29 Solar Energy**

Solar equipment is permitted only upon approval of the ARC.

### **2.30 Piling**

Pilings that are exposed to view must be enclosed in an aesthetically pleasing manner. Pilings may be enclosed with wood, concrete, or stucco. Where latticework is utilized to screen the underside of a structure, the latticework must be constructed in panels with a 1" x 4" or 2" x 4" frame. Latticework must be privacy grade, constructed of wood with the spacing between the lattice no greater than the lattice and comply with **Exhibit 14**. All piling enclosures or screening must be approved by the ARC.

### **2.31 Finishes**

All exterior surfaces of structures including wooden decks must be painted or stained. (Exception: Concrete walks, drives, and pavers and brick pavers are not required to be painted.)

### **2.32 Foundations**

The foundation system of all primary structures must be designed by a registered architect or engineer.

## **3 LANDSCAPING GUIDELINES**

### **3.1 General**

It is the intent of the DESIGN CODE to ensure that the natural features of the landscape be retained as much as possible and that all new landscaping foster a harmonious relationship between the natural and the man-made environment. The intent is to limit the palate by using native/drought tolerant plant material, for a more natural community environment.

A landscape plan must be submitted to the ARC for approval as required in Section 3.0.

All landscaping must be completed within 30 days after completion of the residence.

### **3.2 Grading**

Maximum amount of added fill shall be no more than one (1) foot above the crown of the road, measured from the front of the house. Any amount over one (1) foot must be approved by the ARC. Materials and debris resulting from clearing and grubbing operations shall be removed from the site promptly. Grading operations shall not adversely affect adjacent properties. Finish grading shall be such that the washing of water onto adjacent properties is prevented. Newly graded areas shall be protected against erosion at all times.

Owner shall honor all existing drainage easements, if applicable.

### **3.3 Existing Vegetation**

Construction shall be located sympathetic to existing vegetation so as to retain as much of the existing vegetation as is practical. Existing vegetation may be cleared to a maximum of 4 feet beyond the edge of the building unless approved by the ARC as part of the landscape plan. No vegetation shall be removed or destroyed on any lot prior to ARC approval of the final landscape plans and specifications.

### **3.4 New Planting**

When planning and preparing the landscape plan, it is recommended that plants native to the locale be utilized to ensure healthy growth, low maintenance, hardiness, and drought tolerance.

The landscape plan must indicate the type of shrubs and trees. Due to high water requirement, turf grass must be approved on an individual basis. All landscaping plans must be approved by the ARC.

### **3.5 Irrigation**

An irrigation plan shall be made a part of the landscape plan and must be approved by the ARC. Said irrigation plan must incorporate bubbler, drip and/or micro spray heads. "Pop up" head(s) will only be allowed in turf grass areas; provided that said "pop up" head(s) are all placed on one (1) zone that is separate from all other zones.

### **3.6 Approved plants**

#### **Trees/Minimum Size:**

Sand Live Oak (*Quercus Geminata*)

Sand Pine (*Pinus Clausa*) (10')  
Southern Wax Myrtle (*Myrica cerifera*) (6'-8')  
Japanese Black Pine (*Pinus Thunbergiana*) (7gal)  
Yaupon Holly (*Ilex Vomitoria*)  
Southern Red Cedar (*Juniperus Sillicicola*)

### **Palms**

Cabbage Palm (*Sabal Palmetto*)  
Canary Island Date Palm (*Phoenix Canariensis*)  
Pindo Palm  
European Fan Palms (*Chamaerops Humilis*)  
Saw Palmetto (*Serona Repens*)

### **Shrubs/Minimum Size:**

Sago Palm (*Cycus revoluta*) (10 gal)  
Pampas Grass (*Cortaderia relloana*) (3 gal)  
Elaeagnus, Russian Olive (*Elaeagnus rungens*) (3 gal)  
Indian Hawthorne (*Raphiolepis indica*) (3 gal)  
Pittosporum (*Pittosporulm tobira*) (3 gal)  
Oleander (*Nerium oleander*) (3 gal)  
Ligustrum (*Ligustrum japonicum*) (3 gal)  
Ginger Lily (*Hedychium coronarium*) (3 gal)  
Seagrape (*Coccoloba uvifera*) (3 gal)  
Yucca (*Yucca spp*)

### **Vines**

Creeping Fig (*Ficus Pumila*)  
Confederate Jasmine (*Trachelospermum Jasminoides*)  
Beach Morning Glory (*Ipomoea Stolonifera*)

### **Groundcover**

Beach Sunflower (*Helianthus Debilis*)  
Daylily (*Hemerocallis spp*)  
Lantana (*Lantana spp*)  
Liriope (*Liriope spp*)

### **Grasses**

Papas Grass (*Cortaderia Selloana*)  
Sea Oats (*Uniola Paniculata*)  
Beach Panic Grass (*Panicum Amarum*)  
Saltmeadow Cordgrass (*Spartina Patens*)  
Fountain Glass

## **4 THE APPROVAL PROCESS**

### **4.1 General**

All houses constructed at Frangista Beach must be designed by, and all construction documents for permit stamped by, an architect licensed in the State of Florida. The architect and contractor will also be responsible for signing a form upon completion of the project certifying that the house has been constructed in accordance with the approved construction documents.

The property owner shall be responsible for contacting the Architectural Review Commission (ARC) office to determine the time and dates of the ARC meetings and the cutoff dates for submission of applications. Application forms may be obtained from the ARC office.

In addition to the requirements of the DESIGN CODE, the owner is responsible for making sure that construction conforms to all Federal, State, County, and Local codes, ordinances, and regulations.

### **4.2 Architectural Review Commission**

The Architectural Review Commission, (ARC) is the vehicle for maintaining adherence to the DESIGN CODE. The ARC is a committee appointed by the Board of Directors of the Frangista Beach Owners Association. The ARC shall have an administrator responsible for coordination between the ARC and the property owner and the owner's architect. It is not the intent of the ARC to make arbitrary and subjective value judgments, nor to discourage creativity, but to ensure that all construction is in compliance with the design standards and to ensure compatibility with the overall concept, character, and design quality of the community. The goal of the ARC is to review and process all applications fairly and to evaluate their compatibility with the DESIGN CODE.

Applications shall be approved or denied based upon compliance with the provisions of the DESIGN CODE. The Architectural Review Commission may also consider the quality of materials, harmony of the design with the spirit of the development, as well as purely aesthetic considerations, which in the sole opinion of the ARC will affect the overall concept and intent of the development.

The ARC assumes no responsibility for structural adequacy, soil erosion, soil conditions, or compliance with Federal, State, County, or local codes, ordinances, and regulations.

### **4.3 Process and Scheduling**

The property owner should follow the steps described below:

1. Become familiar with the Frangista Beach Design Code.
2. Select an architect.
3. If presenting a Conceptual Plan to the Preliminary Review, fill out the appropriate Application form and submit along with the required Administration fee. (See FEES 4.6)
4. Submit the Preliminary Application with all required documents and materials along with the required Administration fee (if not already paid on #3).
5. After receiving and integrating into your plans any Architectural Review Commission changes, submit the Application for Final Review with all required documents and materials.
6. Select a contractor.
7. Prior to any clearing or construction, a licensed surveyor must stake all house corners on your property.
8. The Frangista Beach Architectural Review Commission must approve all changes and modifications to the plans if said changes or modifications fall within the parameters of the Frangista Beach Design Code.

**IMPORTANT:** Any material to be submitted for review must be received by the Architectural Review Commission Administrator a minimum of 7 days prior to the scheduled Architectural Review Commission meeting. There will be no exceptions to this cut-off date; anything received after the cut-off date will be reviewed at the following Architectural Review Commission meeting.

#### **4.4 Preliminary Review**

Prior to the Preliminary Review submittal as described below, the Owner and their Architect may submit a concept plan to the ARC for comment. This submittal should consist of floor plans, exterior elevations, and general notes indicating building materials, heights, and overall character of the residence.

Two (2) complete sets of the following material must be submitted to the ARC for review. These materials will be reviewed for adherence to the DESIGN CODE and for overall character and design quality. The submission must be accompanied by a completed Application Form (which is available from the administrator of the Architectural Review Commission) and the Administration fee.

If any of the information as described below is **not** submitted with the application for review, the plans will not be reviewed and a request will be sent to the applicant for the missing materials. When all of the materials are submitted, the plans will be reviewed.

- (1) Application Form
- (2) Design Review Fee
- (3) Certified topographic and boundary survey in 1 foot intervals, showing site features and existing vegetation, and identifying all trees over 2 inch caliper measured at 2 feet above natural grade.
- (4) Preliminary site plan with north arrow and scale, showing building

placement, required setbacks, actual setbacks, structures, walks, drives, patios, fences, pools, existing vegetation to be removed, A/C compressor screening, schematic drainage, spot elevations, preliminary grading, and landscaping plan.

- (5) Preliminary floor plans and roof plan with area tabulation for each floor, including towers and dimensions of all porches.
- (6) Preliminary elevations indicating doors, windows, proposed exterior materials, floor heights, and overall building heights.
- (7) Landscaping plan indicating existing vegetation to remain and proposed landscaping.

Following review of the preliminary submission, the ARC will render one of the following decisions:

- 1) Approve the submission so that it may proceed to Final Review.
- 2) Return the submission to the owner with recommendations for modification.
- 3) Disapprove the submission, with an explanation of the reasons for disapproval.

The ARC shall have 14 calendar days in which to review and respond to submissions for initial review. If the Initial Review Submission is returned for modifications, the ARC shall have the discretion to allow the process to proceed to final review providing the modifications are made, or to require another initial review. If the submission is disapproved, another Initial Review shall be required, and the process shall be repeated.

#### **4.5 Final Review**

Upon approval of the Preliminary Review Submission by the ARC, the property owner shall submit a complete set of the final construction documents for all improvements to the ARC for review and final approval to include the information as listed below. An application Form and an Architect's Affidavit, which may be found in the Appendix of the Design Code or obtained from the ARC office, must accompany the submission. These documents must be submitted at the size and scale required by Walton County.

If any of the information as described below is not submitted with the application for review, the plans will not be reviewed and a request will be sent to the applicant for the missing materials. When all of the materials are submitted, the plans will be reviewed.

Information needed for final review shall include the following:

- (1) Site Plan with north arrow and scale, indicating property lines, easements, required setbacks, actual setbacks, topography, existing vegetation, location of all proposed structures including primary residence, outbuildings, garage, carport, decks, patios, pools, fences, walks, drives,

- terraces, mechanical equipment and garbage container enclosures, existing grades, proposed grades, spot elevations, contours, finished floor elevations, roof overhangs, and proposed tree removal and site clearing.
- (2) Floor Plans drawn at a scale of 1/4"=1'-0".
  - (3) Exterior Elevations indicating exterior materials, roof pitch, first floor elevation, second floor elevation, and building heights, including height to middle of roof from grade, and highest point of roof from grade, including towers.
  - (4) Building Sections with eave condition details, those typical of walls, porches, and details of any exterior stairs.
  - (5) Roof Plan
  - (6) Fence and Balustrade Details
  - (7) Construction Specifications to include all exterior materials and components such as doors and windows, siding, porch flooring, roofing materials and all exterior light fixtures.
  - (8) Exterior Color Selections with color samples, if other than approved colors.
  - (9) Landscape Plan indicating existing vegetation to remain, proposed new vegetation identified by botanical name, common name, size, and quantity.

The ARC shall have 30 calendar days in which to review and respond to submissions for final approval.

Following review of the Final Review submission, the ARC will render one of the following decisions:

- 1) Approve the submission so that the project may proceed to construction.
- 2) Return the submission to the owner with recommendations for modifications.
- 3) Disapprove the submission with an explanation of the reasons for disapproval.

If the submission is returned with recommendations for modifications or disapproved, another Final Review shall be required and the process repeated.

#### **4.6 Fees**

An administrative fee of **\$500** will be charged for the review and approval process if an architect is used that is on the Frangista Beach Approved Architect list. A fee of **\$1500** will be charged if an architect is used that is not on the list. Payment should be included with the Preliminary Review Application, and should be made payable to Frangista Beach Owner's Association.

#### **4.7 Variances**



Variations may be granted for architectural merit, unique topographical conditions, or irregular shaped lots, and are solely at the discretion of the ARC.

#### **4.8 Modifications to Approved Plans**

If modifications are made after the plans have been approved, the proposed revisions must be submitted to the ARC for prior approval.

Proposed revisions or additions to an existing structure are subject to the same review process and submissions as new construction projects. Additional fees may be required to cover the cost of administration.

#### **4.9 Governmental Approval**

Following final approval by the ARC, the property owner may submit approved construction documents to the local governing agencies, and any other agencies as required for review, approval, and building permits. Any changes required by any governmental agency must be submitted to the ARC for review and approval.

Upon approval by the ARC, a building permit shall be submitted to the Contractor from the ARC, subject to the approval of all governing agencies. Approval by the ARC in no way implies governmental or regulatory approval of any nature.

### **5 THE CONSTRUCTION PROCESS**

#### **5.1 Property Owner/Contractor Responsibilities**

The property owner and contractor shall be responsible for complying with all of the rules and regulations of all governing agencies as well as this DESIGN CODE.

The contractor must be approved by the ARC and must submit a certificate of insurance to the ARC certifying Workmen's Compensation as required by law, bodily injury and property damage occurrence with a minimum limit of \$500,000 with a general aggregate of at least \$1,000,000.

The property Owner must file a construction schedule with the ARC, indicating the construction commencement date and the construction completion date. The property owner will be required to sign a Contractor Agreement with the ARC before commencing work. A copy of the Construction Agreement may be found in the Appendix of the Design Code or obtained from the ARC office. Execution of this agreement will be required before any construction can begin. NO exceptions will be made, and no changes to the agreement will be accepted. The Owner/contractor's failure to comply with any of the rules and regulations as described herein, or failure to require compliance by any of his employees or subcontractors, or the lapse of any of the insurance requirements will, at the

Developer's discretion, result in suspension of building privileges within Frangista Beach.

## **5.2 Construction Regulations**

The property owner is responsible for the behavior and actions of all of his employees and subcontractors who perform work on his project while they are in Frangista Beach.

Nuisances: Necessary precautions must be taken so as not to create undue noise. No profanity, cat calls or unnecessary noise will be tolerated. No animals are permitted on the construction site. Workers may dress casually but may not wear clothing with obscene or otherwise offensive messages.

To avoid undue disturbance to Frangista Beach residents and guests, construction is allowed only between the hours of 7:00 a.m. To 5:30 p.m., Monday through Saturday. Construction is prohibited on Sundays and the following holidays: New Years Day, Memorial Day, July 4th, Labor Day, Thanksgiving, and Christmas Day. If any of these days are observed on the proceeding or following Monday, there will be no construction on that day. Exceptions will be made only with written permission from the Frangista Beach Management.

No trailers or temporary buildings are permitted unless approved by the Frangista Beach Architectural Review Commission. Property owners shall not erect, or permit his contractor to erect signage of any type except as provided by the Frangista Beach Design Code and specifically approved by the Frangista Beach Architectural Review Commission.

The owner will be responsible for any damage to streets, curbs, sidewalks or other infrastructure caused by contractor, their employees or subs or suppliers such as cement trucks. Any such damage will be repaired by property owner or their designee at their expense.

Upon completion of construction, the contractor will be responsible for restoring any damaged improvements to their original condition to match adjacent undamaged improvements.

The Contractor shall maintain the construction site clean and free from all debris and waste materials to the degree practical as determined by the ARC. Construction trailers will not be allowed on the construction site.

Building materials shall be kept within the property lines and shall be stored in a neat and orderly fashion. The use of adjoining properties for access to the property or storage of materials, without the written consent of the property Owner, is prohibited. If construction is suspended for more than thirty days, all stored building materials shall be removed until which time construction is resumed. The construction site must be clean

and maintained at all times. If construction is suspended for more than thirty days, all stored building materials shall be removed until construction is resumed. Trash containers must be furnished and the premises kept free from accumulation of waste materials at all times. Any hazardous waste will be properly and promptly removed. All paper and debris will be picked up each day before leaving the site. Food garbage cannot be mixed with construction debris but must be disposed of in appropriate containers and removed at least weekly.

Trash shall not be allowed outside of the designated trash and scrap area. At completion of the work, all remaining waste materials shall be disposed of legally, and tools, construction equipment, machinery and surplus material shall be removed from the site. Dumping or burning is not allowed. If a site is not cleaned within three days after written notice, the Frangista Beach Architectural Review Commission may clean the site at owner's expense, in addition to any fines or other penalties provided in Section 11 of this Agreement.

All roadways must be kept open for the passage of through traffic. Where absolutely necessary, attended trucks may use the street while loading and unloading only. All other vehicles must be parked completely off the street. No vehicle may be parked overnight. Any vehicle in violation of this paragraph may be towed.

The property owner is responsible for making sure that work activity on the job site does not encroach on adjacent property.

The Contractor shall take all necessary precautions to protect existing vegetation and to comply with all erosion control methods established by the Frangista Beach Architectural Commission from time to time. Protection of existing trees is extremely important in Frangista Beach. Due care will be used in removing trees permitted to be removed, and an approved frame will be built and maintained around any trees required by the Frangista Beach Architectural Commission to be preserved. No trees will be cut, removed, or willfully damaged unless approved by the Frangista Beach Architectural Commission. If owner/contractor does not comply with this rule, in addition to the fines and other penalties provided in Section 11 of the Construction Agreement, he may be required to (a) plant a tree of the same species and comparable size, and (b) pay a fine which, depending on the size and species of the tree, may exceed \$5,000.

### **5.3 Construction Commencement**

The Owner/Contractor may not commence construction until building permits have been received from the ARC, the County of Walton, and all other governing agencies as required. The ARC will issue a permit only after ARC Approval and receipt of copies of all other required permits.

### **5.4 Inspections**

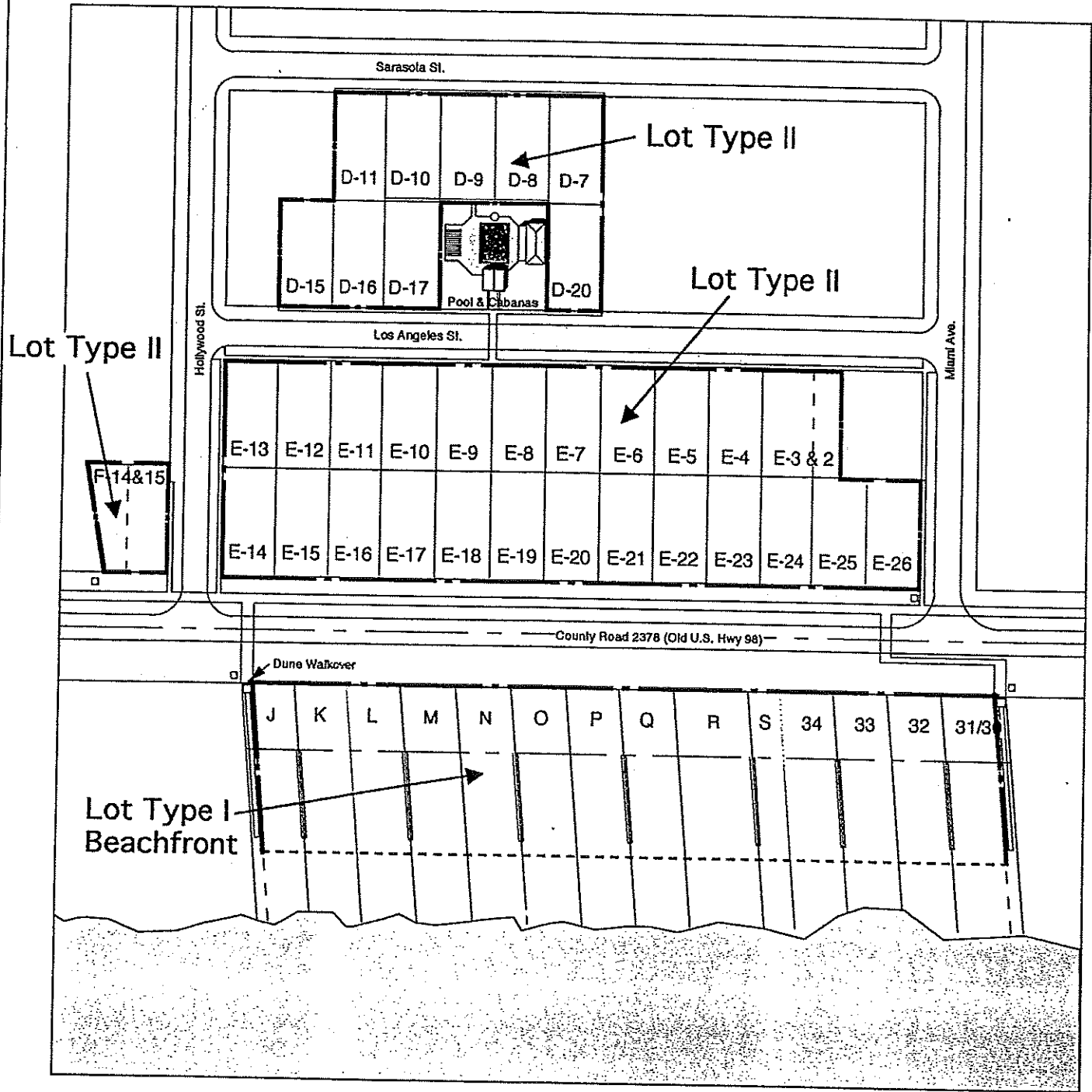
The Owner shall provide the ARC with a foundation survey upon completion of the foundation. Construction may not continue until the foundation is approved. The ARC will have 14 calendar days from the receipt of the survey to respond.

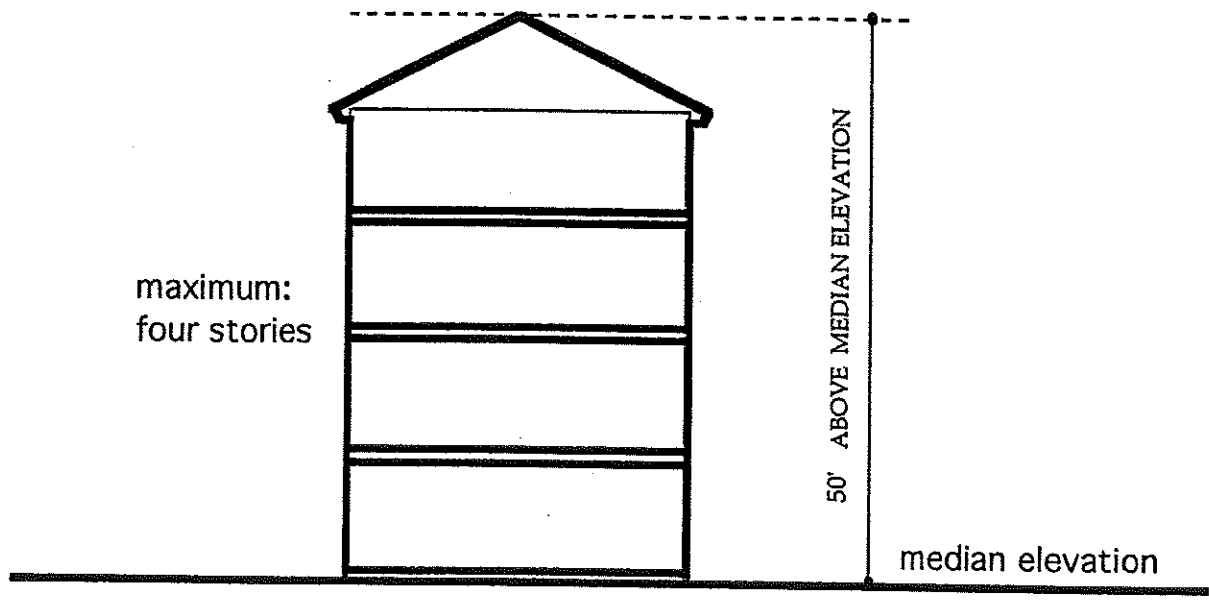
The ARC shall have the right to make periodic inspections of the property during the construction phase and shall have broad discretionary powers regarding the correction of any non-complying construction.

The contractor shall notify the ARC when the project is complete, including all landscaping. The ARC shall inspect the project for final approval and upon approval will issue a certificate of final approval to the property owner.

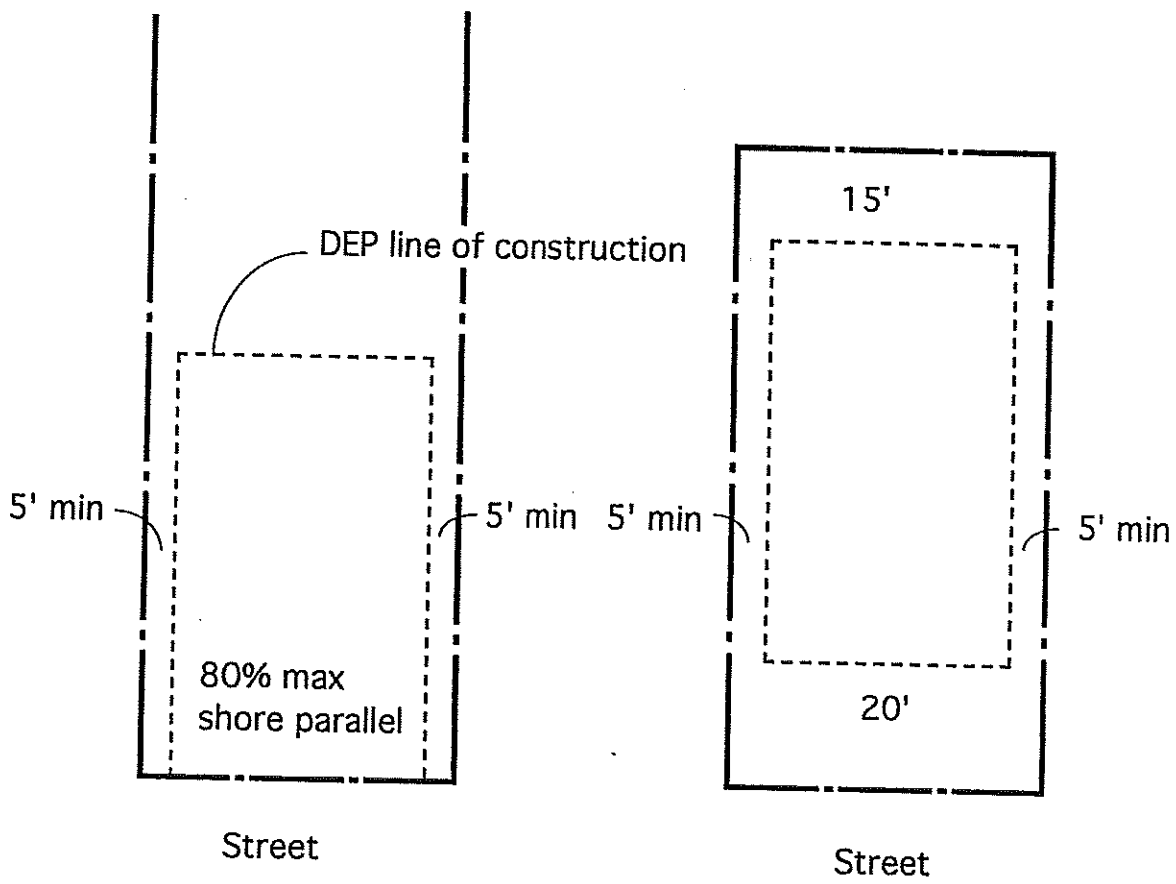
## 6. Exhibits

- 1 Lot Types
- 2 Building Heights
- 3 Set Back Requirements
- 4 Picket Fences
- 5.A Roofs: Gable Ends
- 5.B Roofs: Eave Conditions
- 6 Windows
- 7 Porches
- 8 Balustrades
- 9.A Columns: Round
- 9.B Columns: Capitals
- 9.C Columns: Proportions
- 10.A Alignment: Column / Entablature
- 10.B Alignment: Porches / Roofs
- 11 Entablatures
- 12 Appendages
- 13 Dormers
- 14 Latticework
- 15 Shutters
- 16 House Numbers/Names





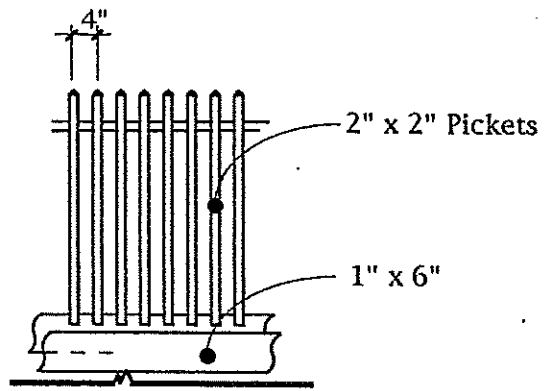
MAXIMUM HEIGHT



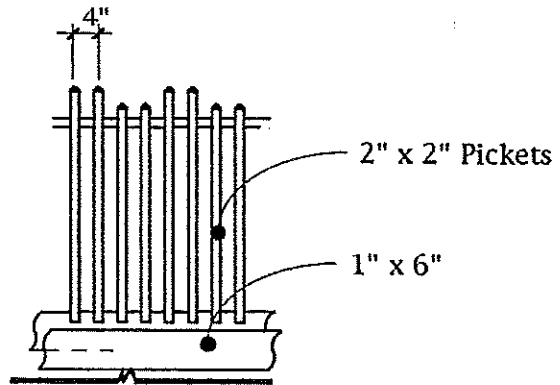
Lot Type I: Beachfront

Lot Type II

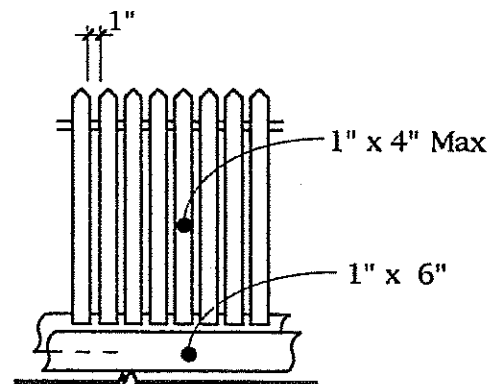
APPROVED: Type 1



APPROVED: Type 2



APPROVED: Type 3





Allowed Roof Pitches 5 / 12 & 6 / 12

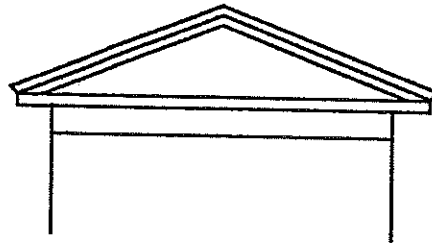
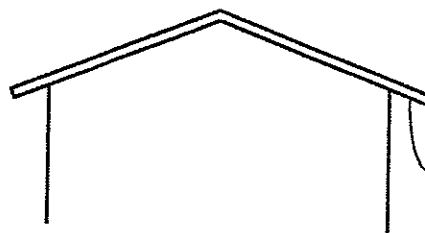


fig. a

CLASSICAL

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Allowed Roof Pitches 5 / 12 to 10 / 12



Exposed rafter tails

fig. b

VERNACULAR

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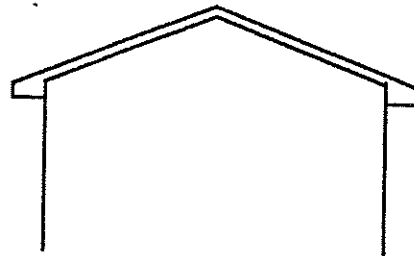


fig. c

PROHIBITED

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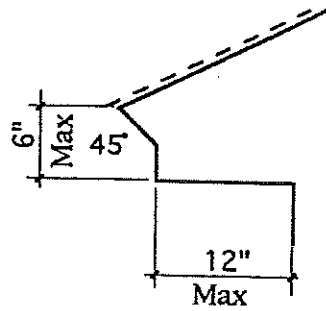


fig. a

APPROVED: Classical

Enclosed Soffit

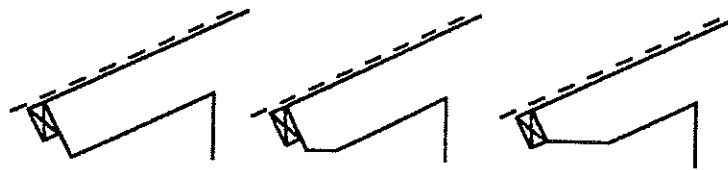


fig. b.1

fig. b.2

fig. b.3

APPROVED: Vernacular

Exposed Rafter Tails

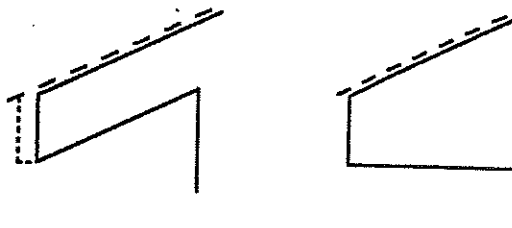
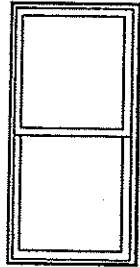


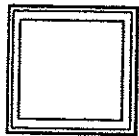
fig. c.1

fig. c.2

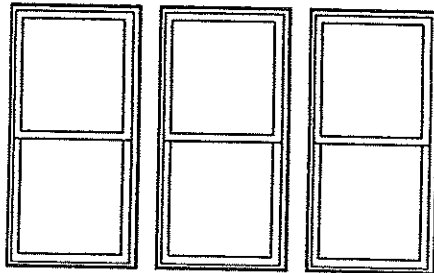
PROHIBITED



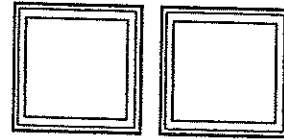
Vertical



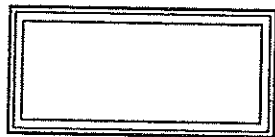
Square



APPROVED

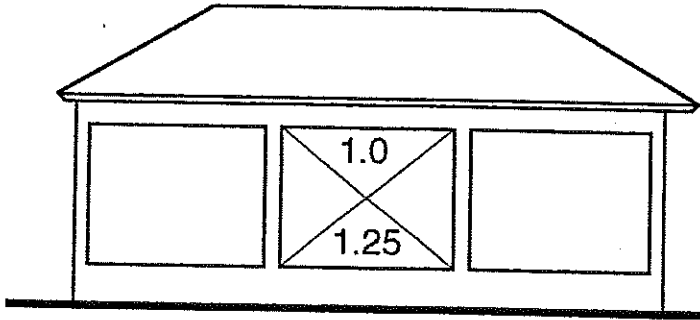


Groupings

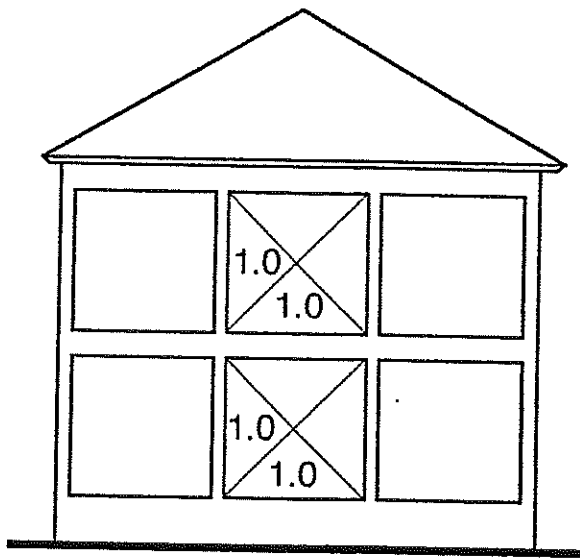


Horizontal

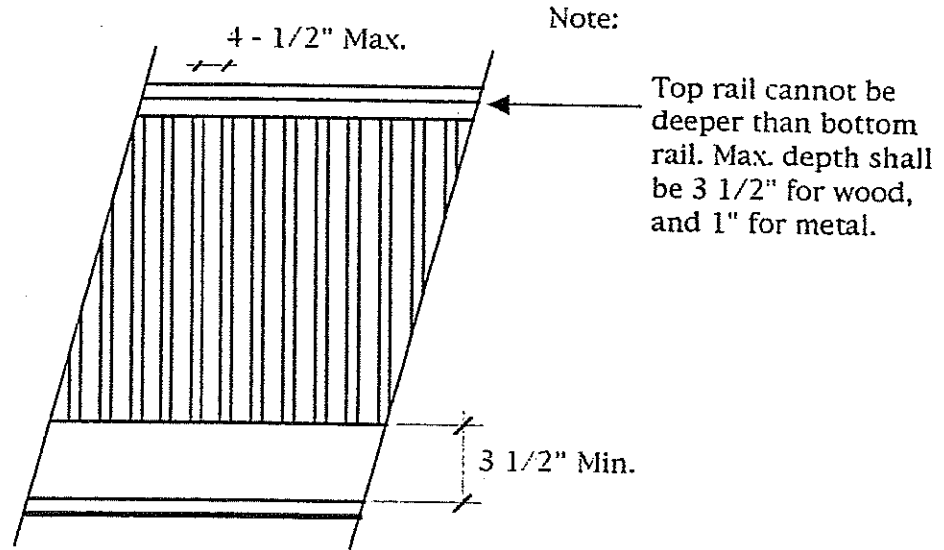
PROHIBITED



The max. ratio for bays on a one story house shall be 1.25 to 1.0 in the horizontal direction



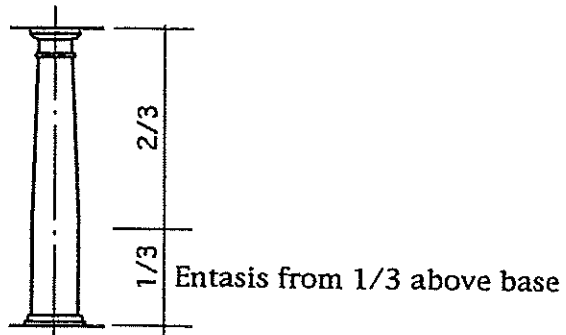
The max. ratio for bays on a two story double gallery house shall be 1.0 to 1.0. However it can exceed this ratio vertically.



The maximum size of wooden balusters for wooden balustrades shall be 2"x 2".

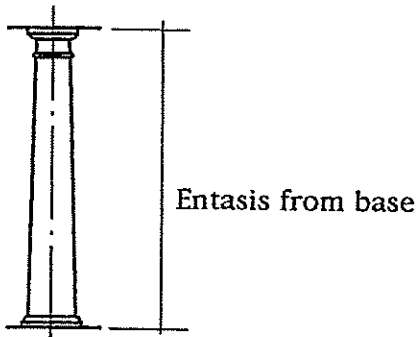
The maximum size of metal balusters for metal balustrades shall be 1"x 1".

Metal balustrades are allowed only on stucco houses with stucco porch columns.



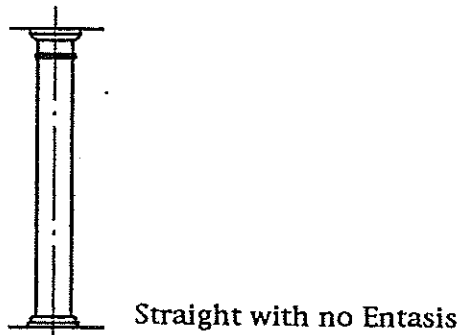
APPROVED

fig. a



APPROVED

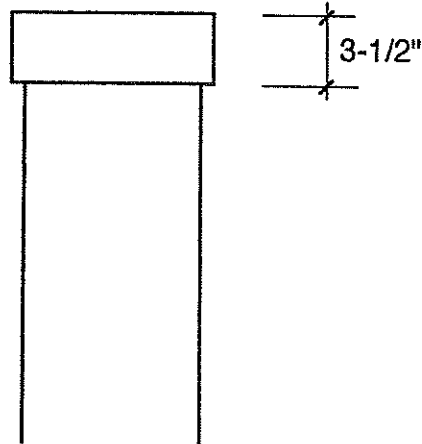
fig. b



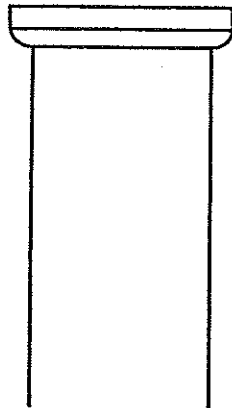
PROHIBITED

fig. c

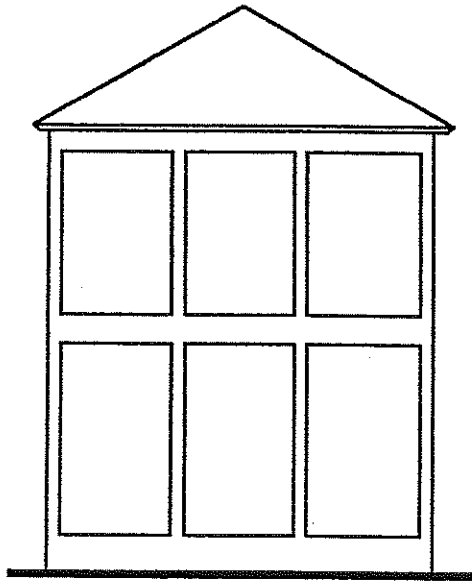
Note: Square or rectangular straight columns are allowed.



The maximum size of a capital trim shall be 3-1/2"

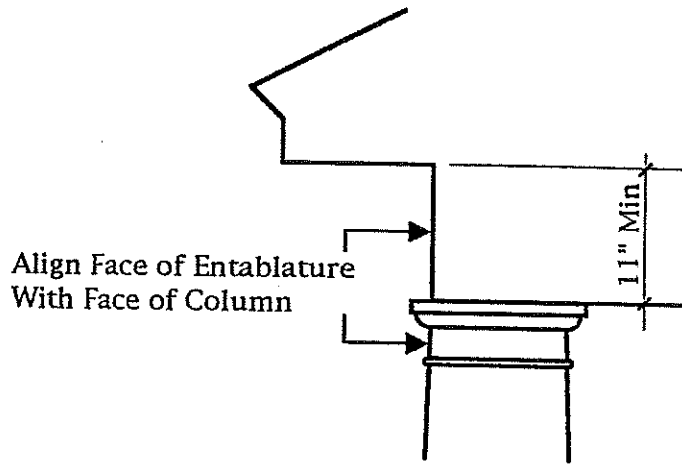


The only Classical Columns allowed are Tuscan/Doric.  
Corinthian and Ionic are prohibited.



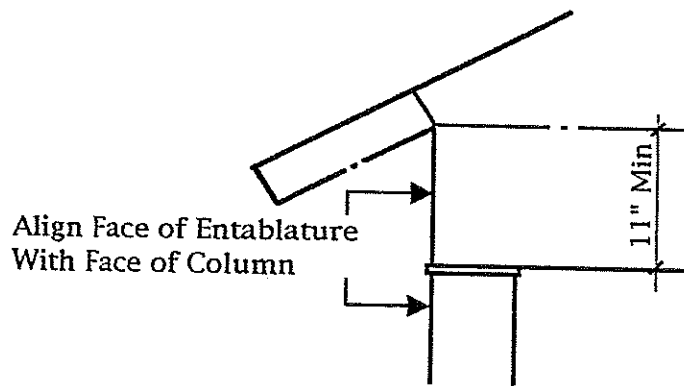
Upper columns of a double gallery house cannot be larger than the Columns below.





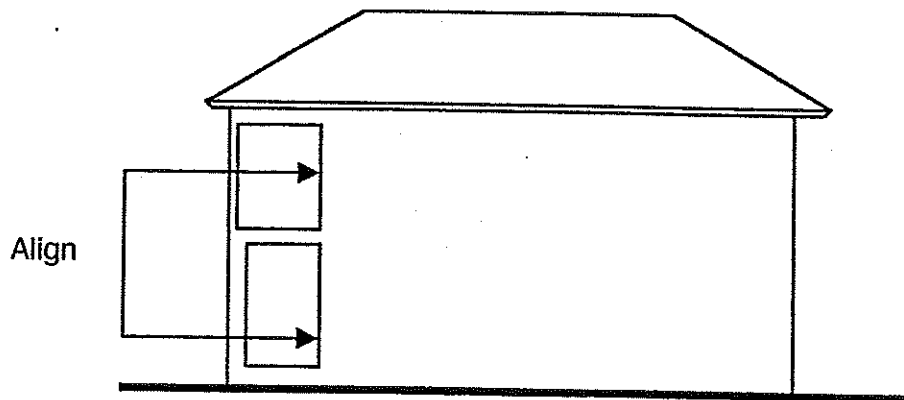
APPROVED:Classical

fig. a

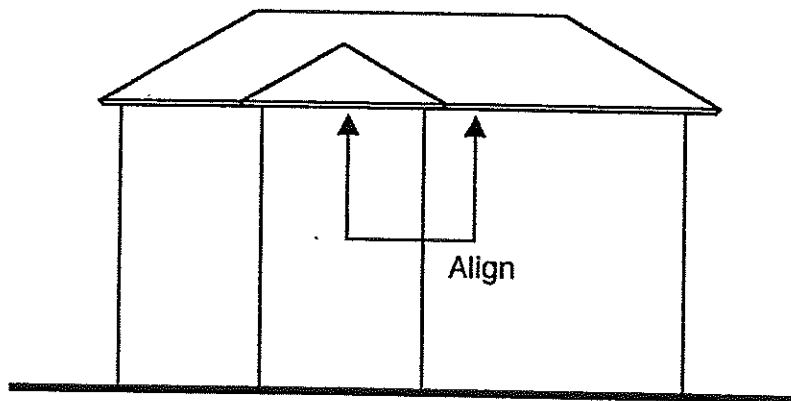


APPROVED:Vernacular

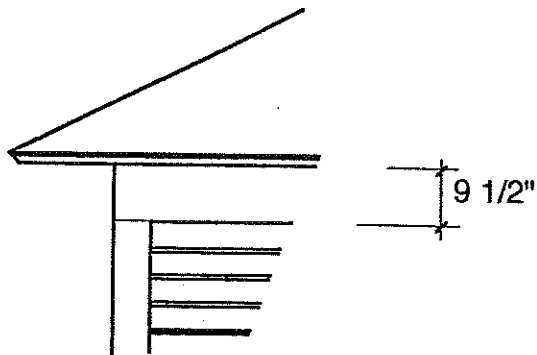
fig. b



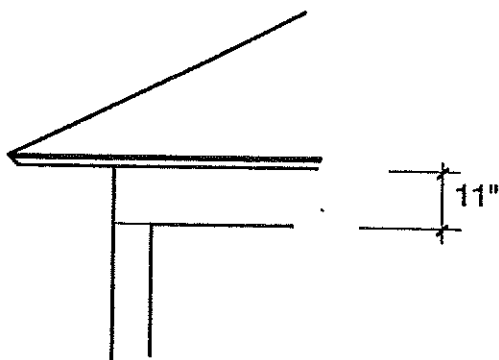
The walls of a house under a double gallery porch must be aligned.



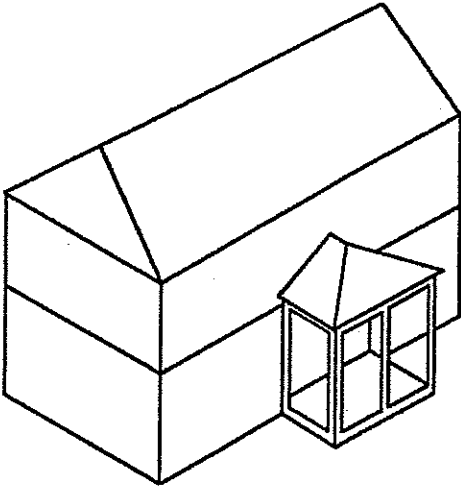
Roofs must align at the soffits unless used as a shed roof extension.



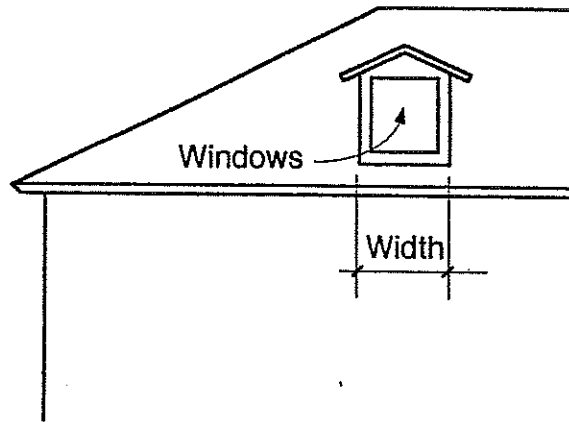
All houses with wood siding shall have an entablature band at the top of the roof line a minimum distance of 9 1/2".



A minimum 11" entablature shall be used on all porches.

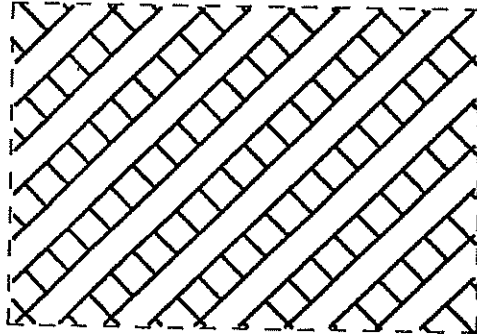


The only one story appendage allowed to a two story house is an open porch.



The maximum width of a roof dormer shall be 7'-6" as measured to the outside walls.

$\frac{1}{a} \frac{1}{b}$



Note:

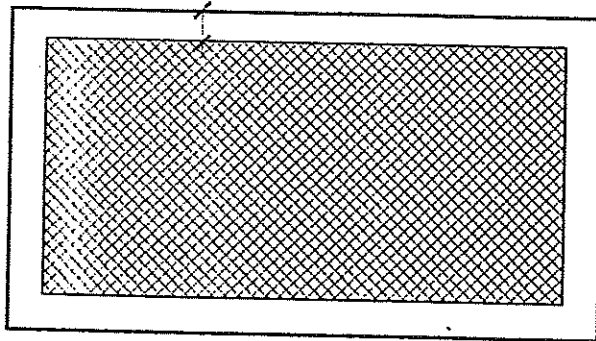
- Dimension of a cannot exceed dimension of b
- Max. width of a is 1 1/2"

Detail

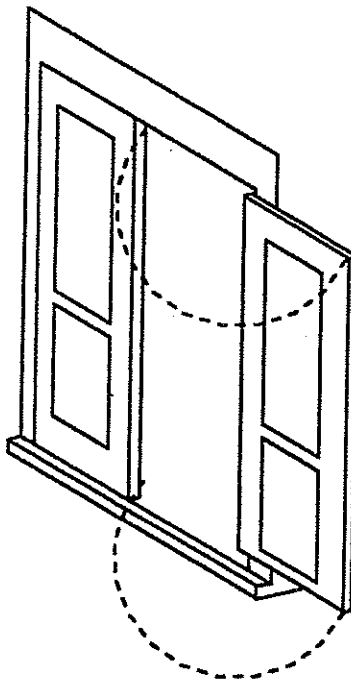
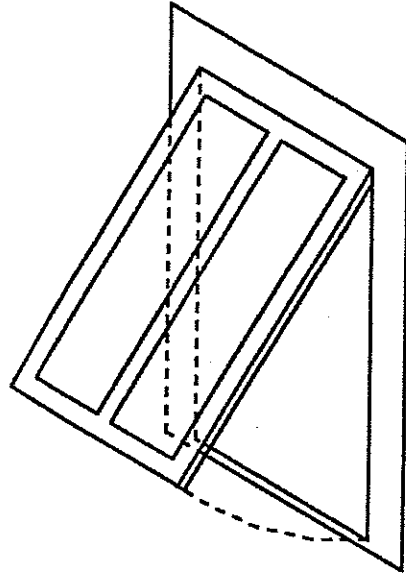
Note:

- Entire lattice panel shall be bordered as indicated, concealing edges from exterior view.

3 1/2" min. each side



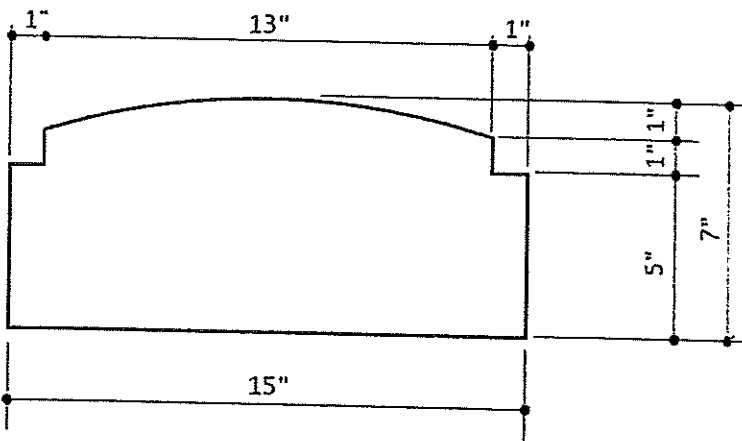
Elevation



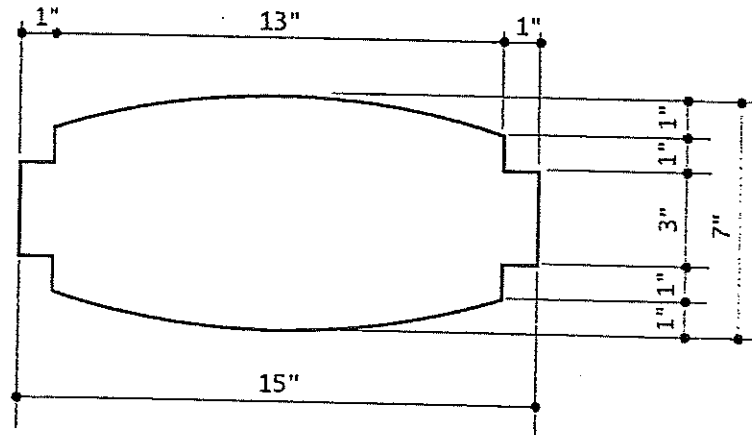
Shutters must be sized and hinged to fit inside of a window and door opening when in the closed position

Note:

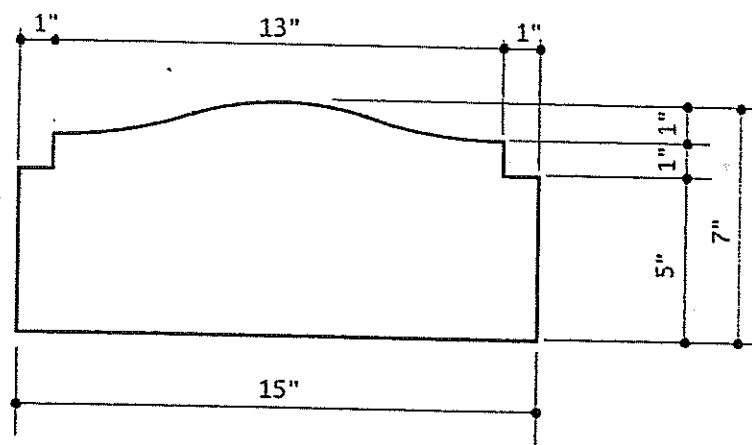
Signage boards must be constructed of wood. Colors must be approved by the DRB.



TYPE 1



TYPE 2



TYPE 3